# CENTRAL WEST

579 W 200 S Salt Lake City, Utah



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LANDSCAPE ARCHITECT

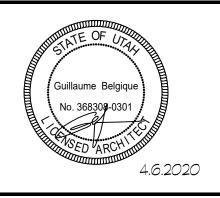
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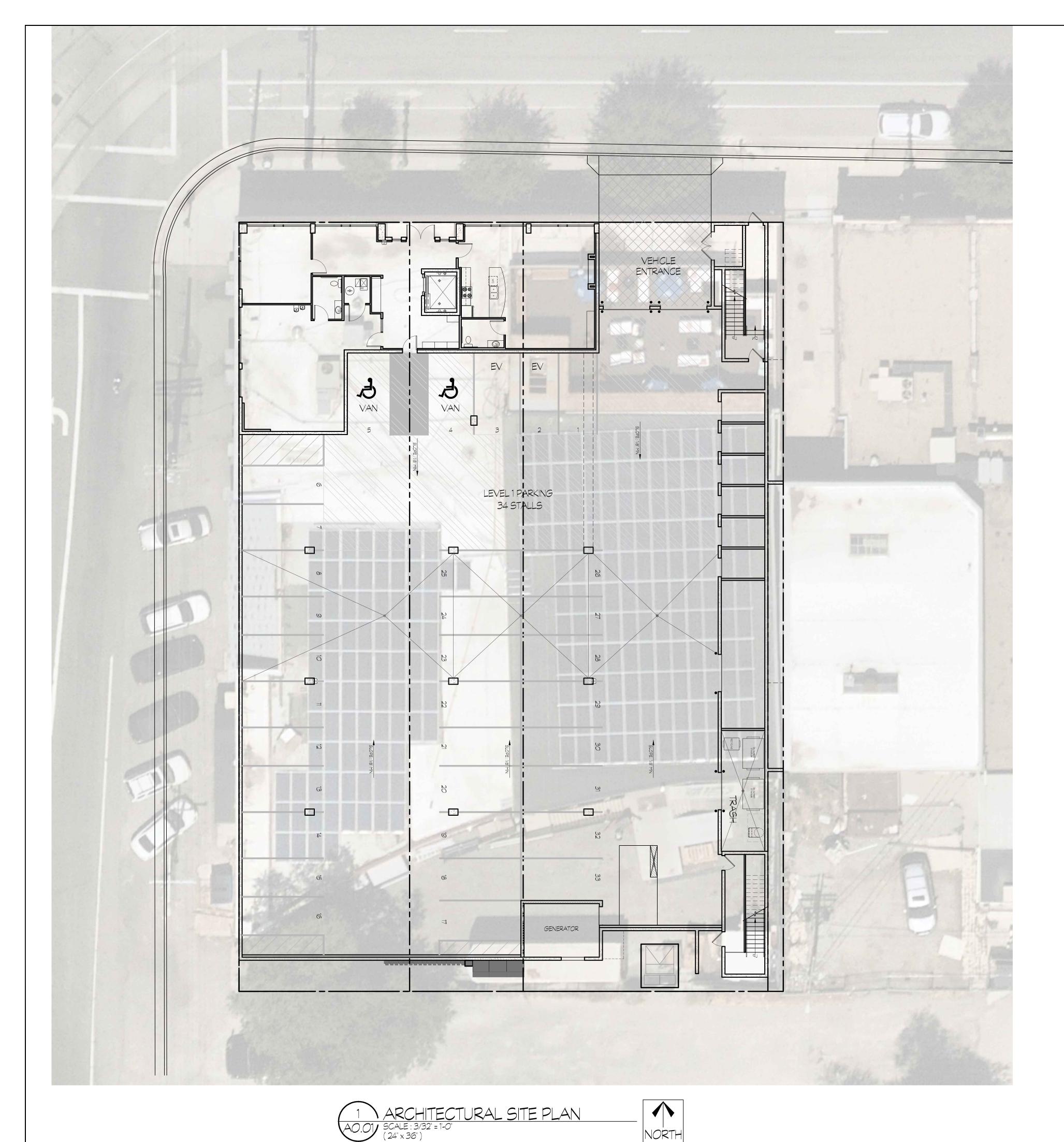
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NORTH

# SITE TABULATION

17,4*9*1<sub>sqft</sub> Site Open space: 1,781sqft

# PARKING CALCULATIONS

GMU Req'd parking: .5 space/dwelling unit Total Units: 65x.5 = 32.5 req'd stalls

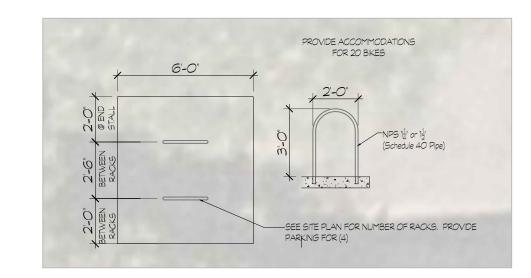
Total parking provided: 34 stalls

Including:

Accessible stalls: 2 stalls Electric vehicle stalls: 2 stalls

Req'd bicycle parking: 5% of vehicular parking provided Total provided parking: 34 vehicular stalls

 $34 \times 5\% = 1.7$  (2) req'd stalls



2 BIKE PARKING RACK DETAIL 40.01 SCALE: 3/32" = 1'-0" (24" x 36")







ARCHITECTURAL SITE PLAN IS FOR REFERENCE ONLY. REFER TO CIVIL & LANDSCAPE DRAWINGS FOR ALL SITE DIMENSIONS, GRADING, DETAILS & ACCESSIBILITY INFORMATION.

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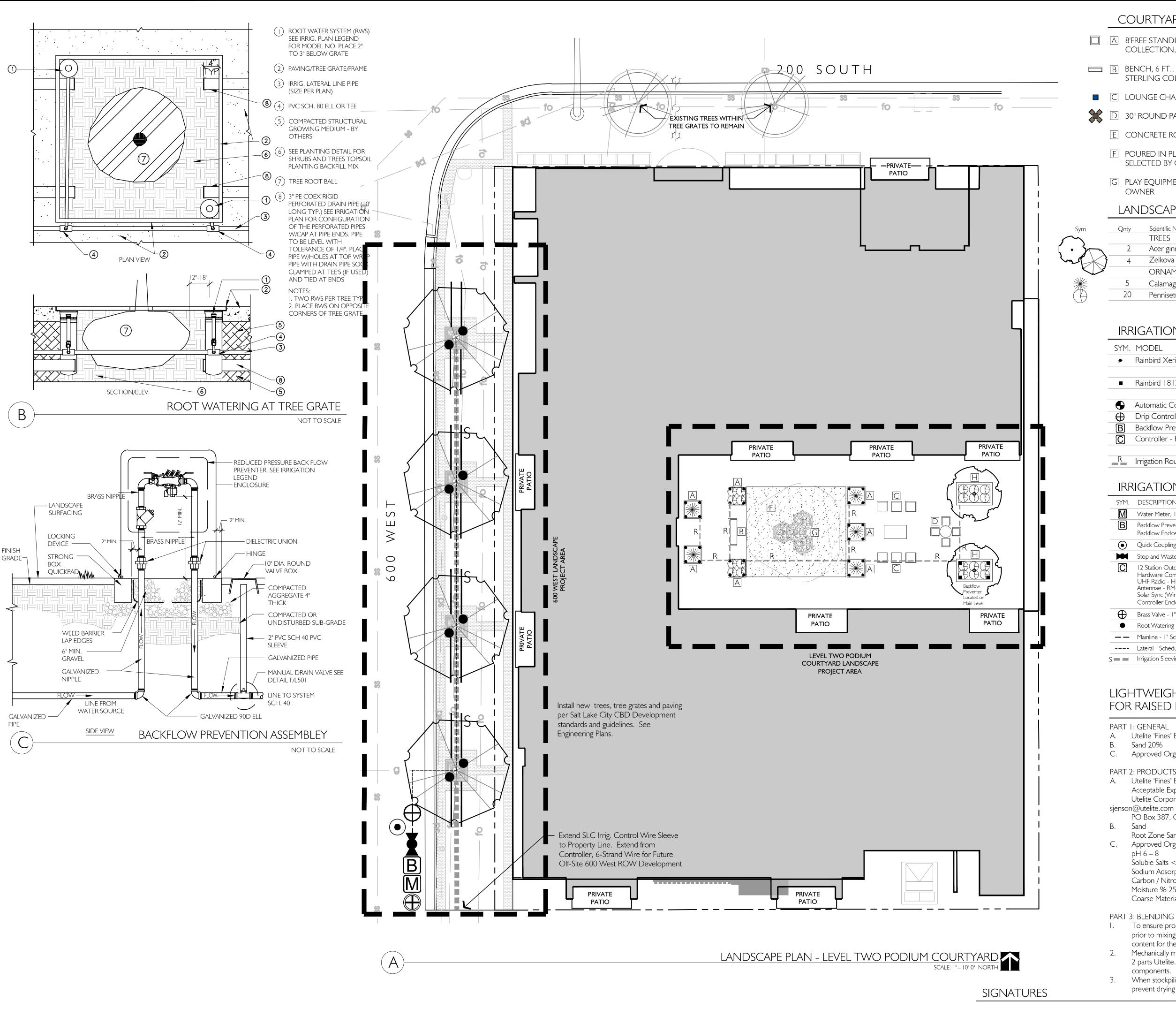
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Architectural Site Plan

**Sheet Number** 

A0.01



COURTYARD KEYED NOTES

■ 8'FREE STANDING PLANTER (96" x 18" x 30"H) - TOURNESOL SITE WORKS, URBAN COLLECTION, #8R-4800 - COLOR SELECTED BY OWNER

B BENCH, 6 FT., SITESCAPES WESTPORT, #WPI-1000 w/ STEEL LOOPED ENDS -STERLING COLOR - BY OWNER

LOUNGE CHAIRS AND TABLE - BY OWNER

30" ROUND PATIO TABLE AND CHAIRS - BY OWNER

E CONCRETE ROOF DECK - SEE ARCH. PLANS

F POURED IN PLACE RUBBER PLAY SURFACE, 26' x 26', PLAYBOUND PIP, COLOR TO BE SELECTED BY OWNER

G PLAY EQUIPMENT - PLAYWORLD, PLAYCUBES 4.0SL, COLORS TO BE SELECTED BY

### LANDSCAPE SCHEDULE

	Qnty	Scientific Name	Common Name	Size
		TREES		
٦	2	Acer ginnala ' Flame' - Clump	Flame Amur Maple - Clump	20 Gal.
	4	Zelkova serrata 'Village Green'	Village Green Zelkova	2" Cal.
<b>-</b>		ORNAMENTAL GRASSES		
	5	Calamagrostis x acutifolia 'Karl Foerster'	Karl Foerster Feather Grass	I Gal.
	20	Pennisetum alopecuroides	Fountain Grass	l Gal.

# IRRIGATION SCHEDULE - LEVEL 2 PODIUM DECK

SYM	. MODEL	P.S.I.	G.P.M.	RADIUS
*	Rainbird Xeri-Pop Micro Spray - XP-400X w/ SQ QTR Nozzle	30	0.12	2.5'/4'

30 0.20 5.0 ■ Rainbird 1812-SAM-PRS w/ 5 Series MPR (5Q-5F)

Automatic Control Valve - Rainbird 100PEB - 1" Drip Control Zone - Rainbird XCZ-075-PRBCOM Backflow Preventer - I"

Controller - Rainbird ESP8LXME - 8 Stations

R Irrigation Routing Under / Through Roof Deck(See Plan)

### IRRIGATION SCHEDULE - 600 WEST R.O.W.

Water Meter, I" - To Be Installed by Owner per Salt Lake City Public Utilities Water Meter Standards and Details

Backflow Preventer, I" - See Detail B/L201

Quick Coupling Valve Assembly - Rainbird 44-LRC, Install w/ Backflow Preventer

Stop and Waste, I" - To Be Installed with Backflow Preventer 12 Station Outdoor Controller - Hunter ACC-1200

Hardware Communication - Hunter ACC-COM-HWR UHF Radio - Hunter RAD-3 Antennae - RM-EV-ANT-FD Solar Sync (Wireless Remote) - Hunter WSS

Controller Enclosure, Stainless Steel - Stong Box 22SS Brass Valve - I" - Rainbird 100GB-R-PRS-D

Root Watering - Rainbird RWS-B-1401 See Detail C/L201

— — Mainline - I" Schedule 40 PVC Pipe

---- Lateral - Schedule 40 PVC Pipe

S Irrigation Sleeving (See Plan)

# LIGHTWEIGHT PLANTING MEDIA FOR RAISED PLANTERS

PART 1: GENERAL

A. Utelite 'Fines' Expanded Shale 40% B. Sand 20%

C. Approved Organic Matter 40%

PART 2: PRODUCTS

A. Utelite 'Fines' Expanded Shale Acceptable Expanded Shale Manufacturer and Supplier: Utelite Corporation, Scott Jenson, 801-243-9348,

PO Box 387, Coalville, UT 84017

Root Zone Sand or Equivalent.

C. Approved Organic Matter pH 6 – 8 Soluble Salts < 5 Sodium Adsorption Ratio < 10 Carbon / Nitrogen Ratio < 40:1

> Moisture % 25 – 35 Coarse Material 98% Passing 3/8"

PART 3: BLENDING PROCEDURE 1. To ensure proper soil component distribution, wet the Utelite Fines prior to mixing. Care should also be taken to ensure proper moisture SALT LAKE CITY, UTAH 84103

content for the organic matter. Mechanically mix 1 part Sand to 2 parts Approved Organic Matter and SCOTT@STBDESIGNLLC.COM 2 parts Utelite. Fines to provide a uniform distribution of the components.

3. When stockpiling the finished mix, cover the pile with a plastic tarp to prevent drying out or soil separation from rain.



LANDSCAPE ARCHITECTURE & LAND PLANNING

1375 E. PERRYS HOLLOW ROAD PH/TXT/MO 801.554.6146

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SALT LAKE CITY URBAN FORESTRY DIVISION

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PRELIMINARY PLANS

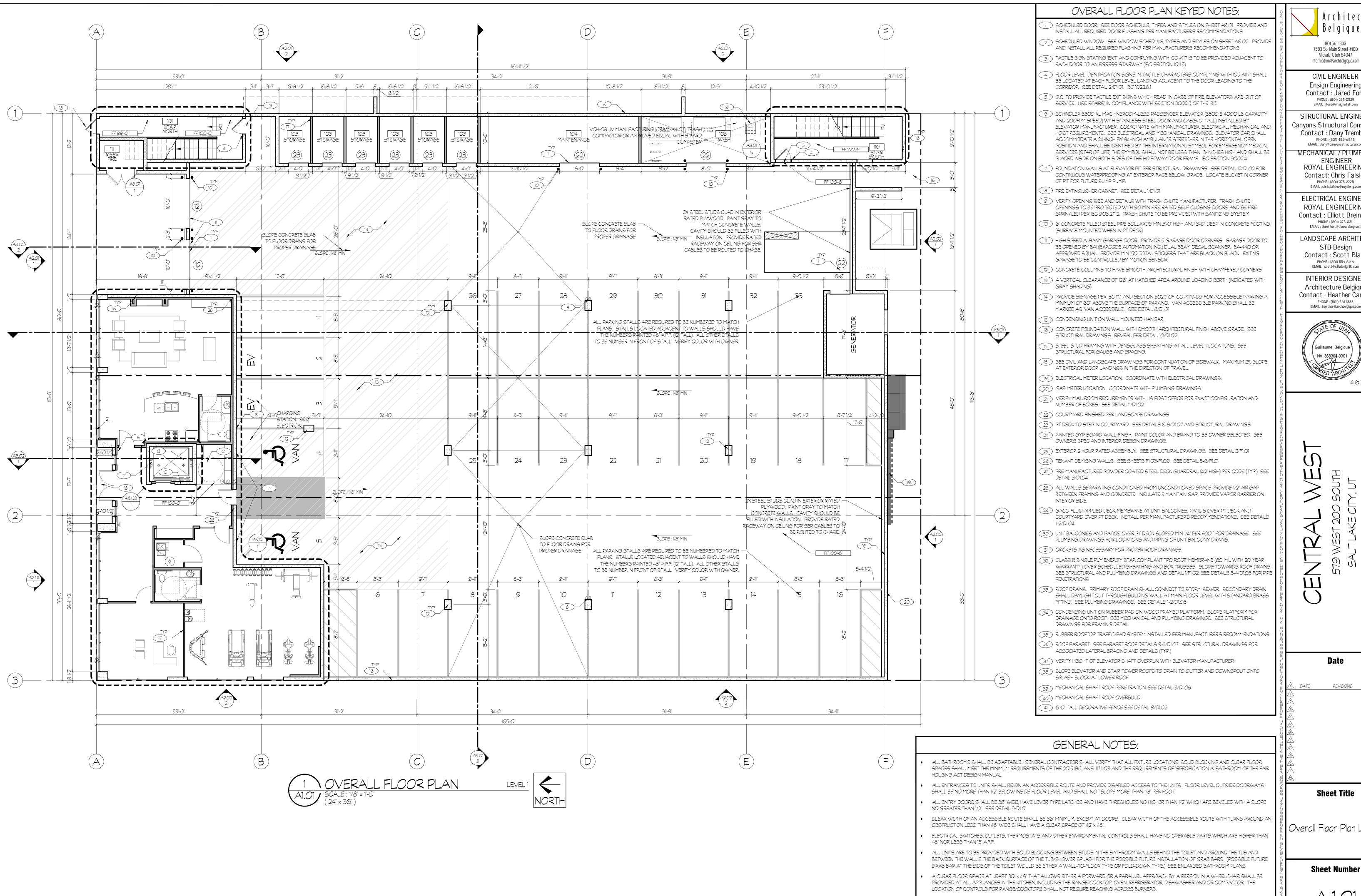
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LANDSCAPE IRRIGATION PLAN



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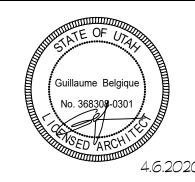
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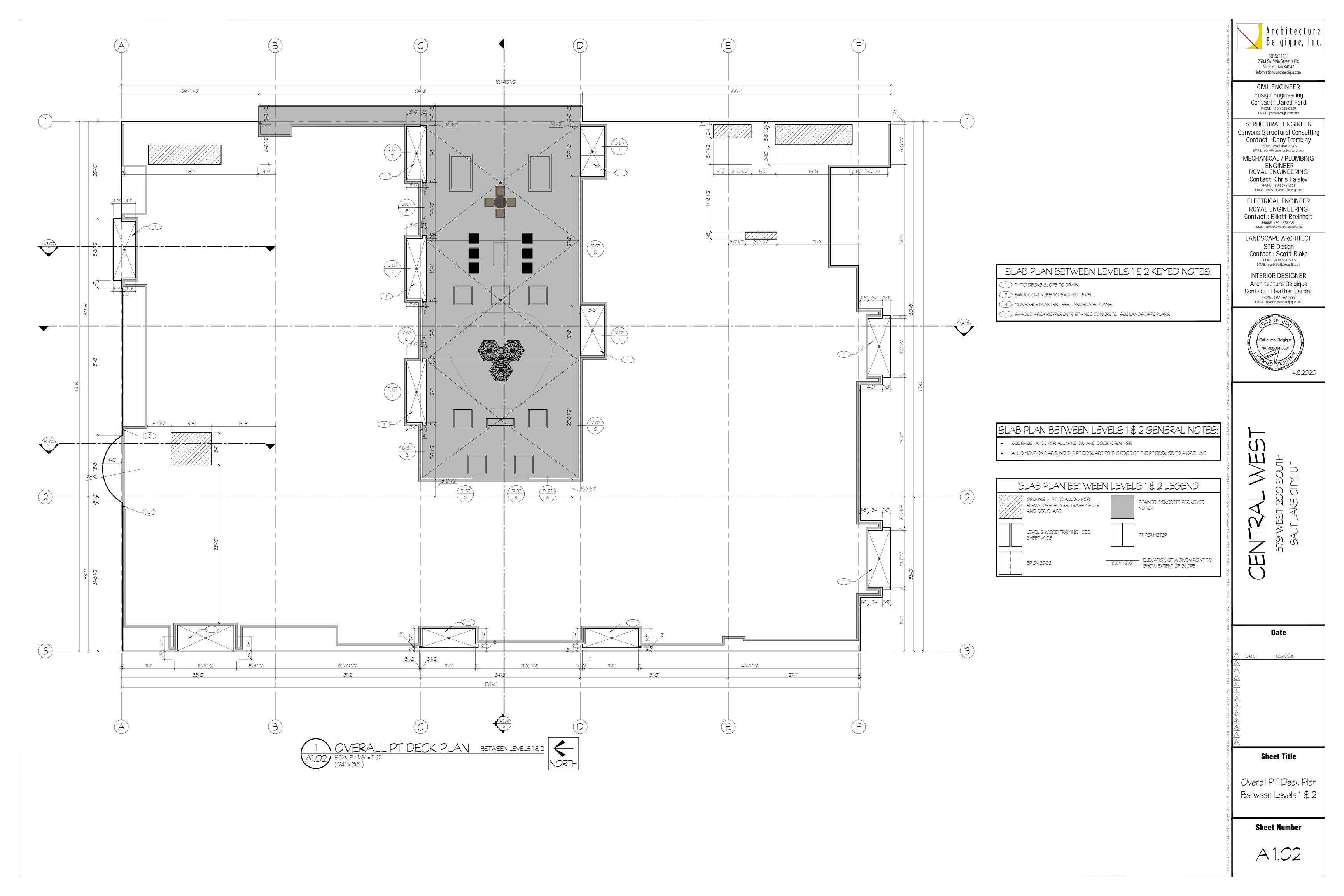
I Overall Floor Plan Level

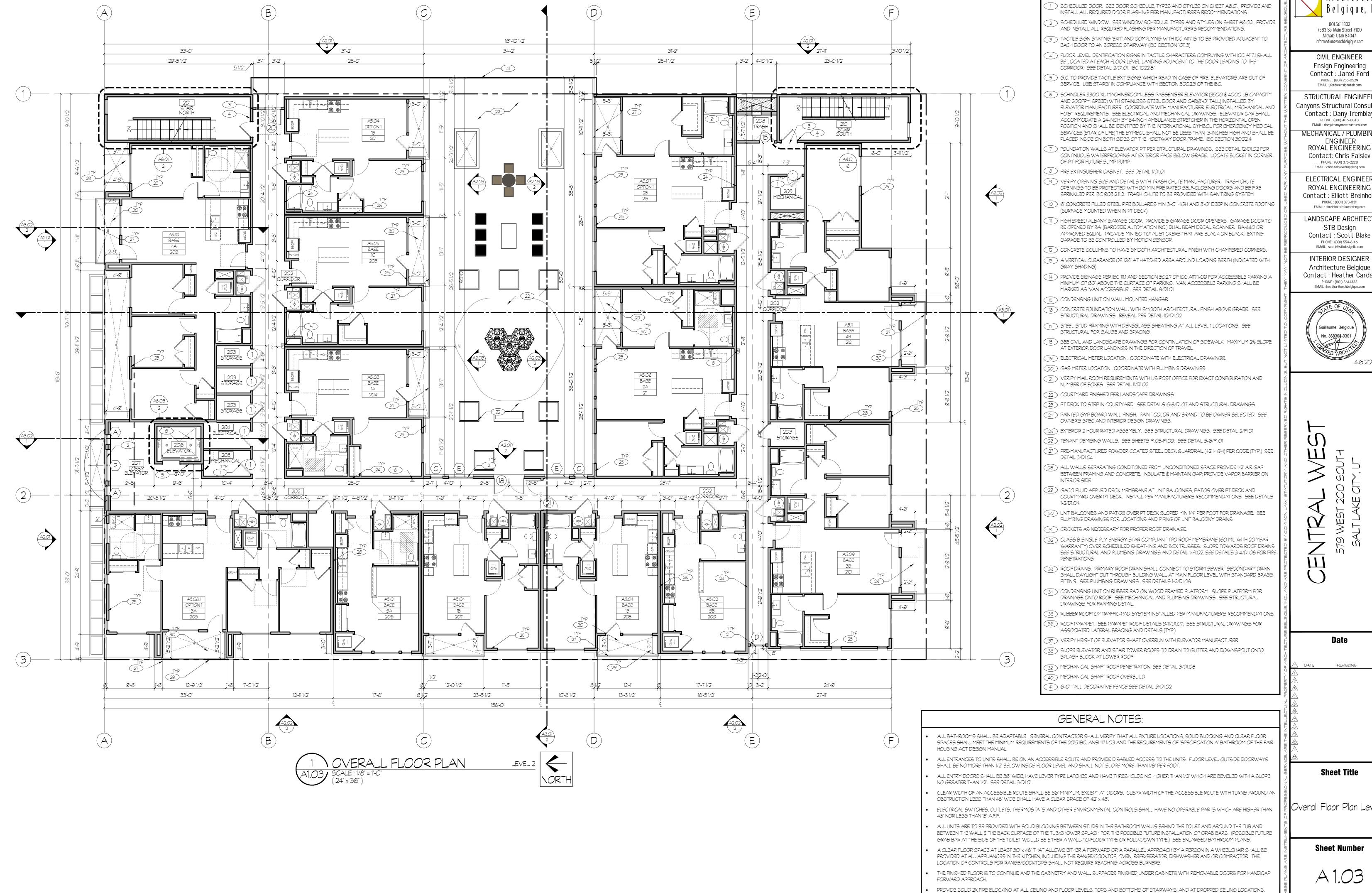
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THE FINISHED FLOOR IS TO CONTINUE AND THE CABINETRY AND WALL SURFACES FINISHED UNDER CABINETS WITH REMOVABLE DOORS FOR HANDICAP

PROVIDE SOLID 2X FIRE BLOCKING AT ALL CEILING AND FLOOR LEVELS, TOPS AND BOTTOMS OF STAIRWAYS, AND AT DROPPED CEILING LOCATIONS.

FORWARD APPROACH.





OVERALL FLOOR PLAN KEYED NOTES:

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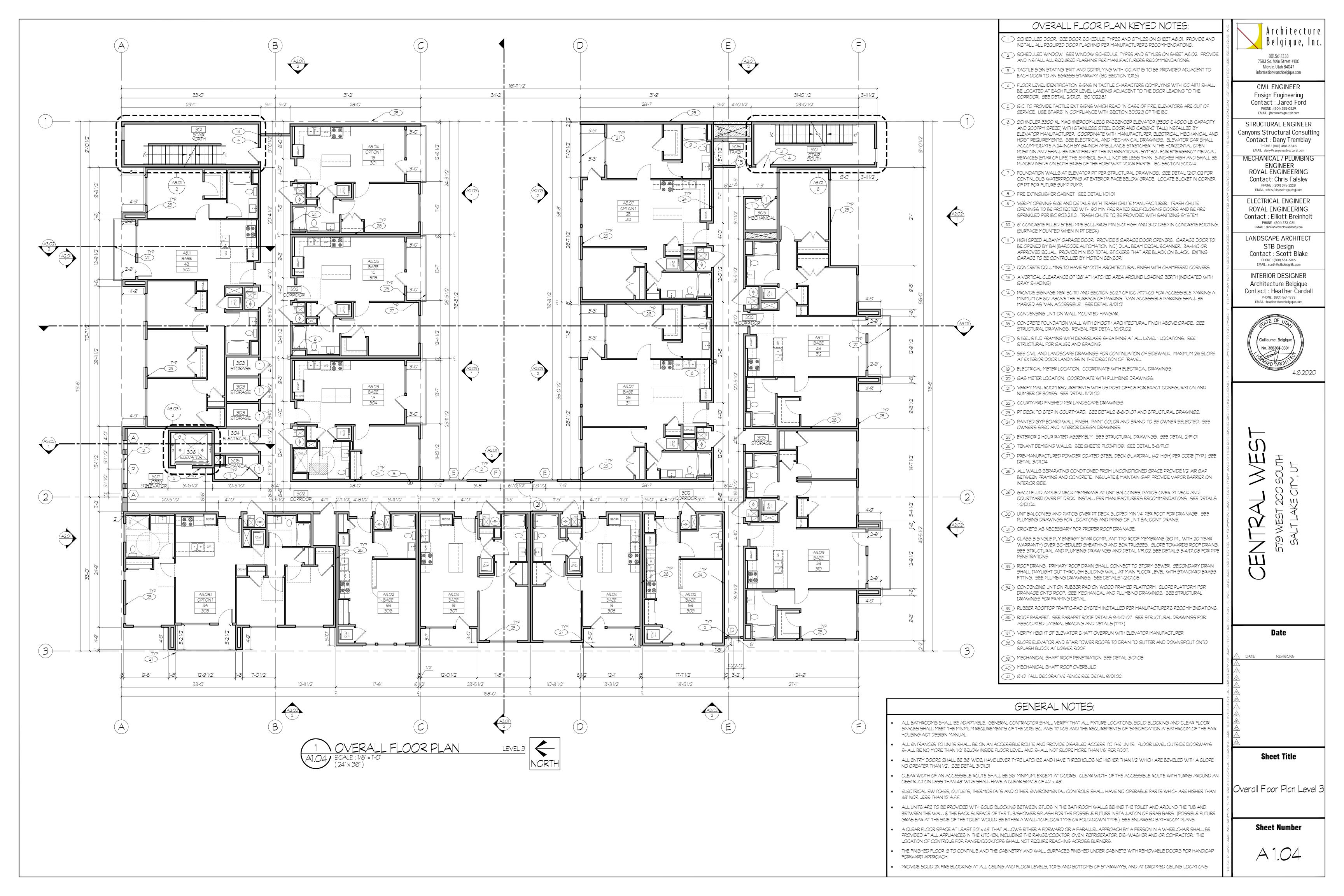
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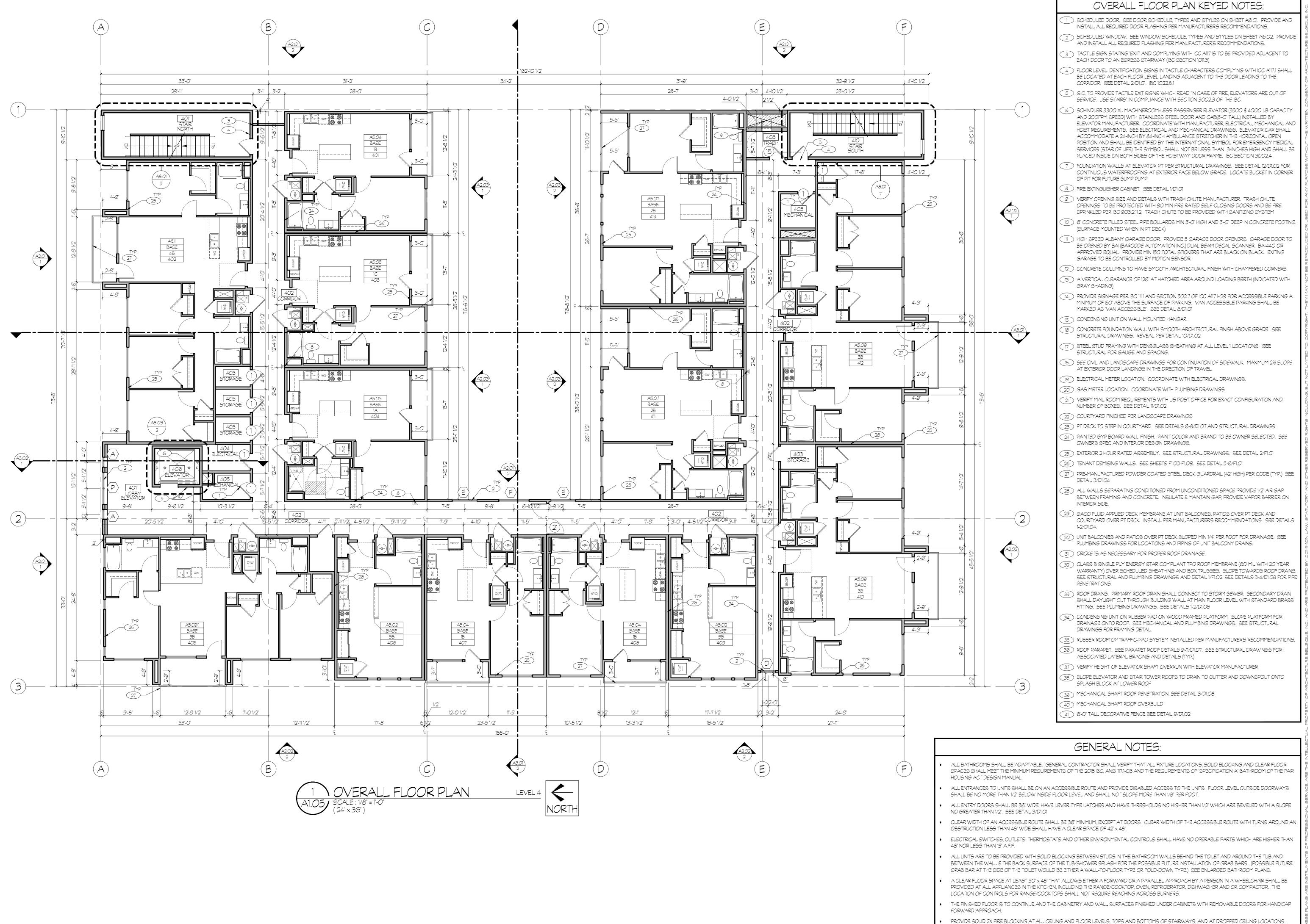
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Overall Floor Plan Level 2





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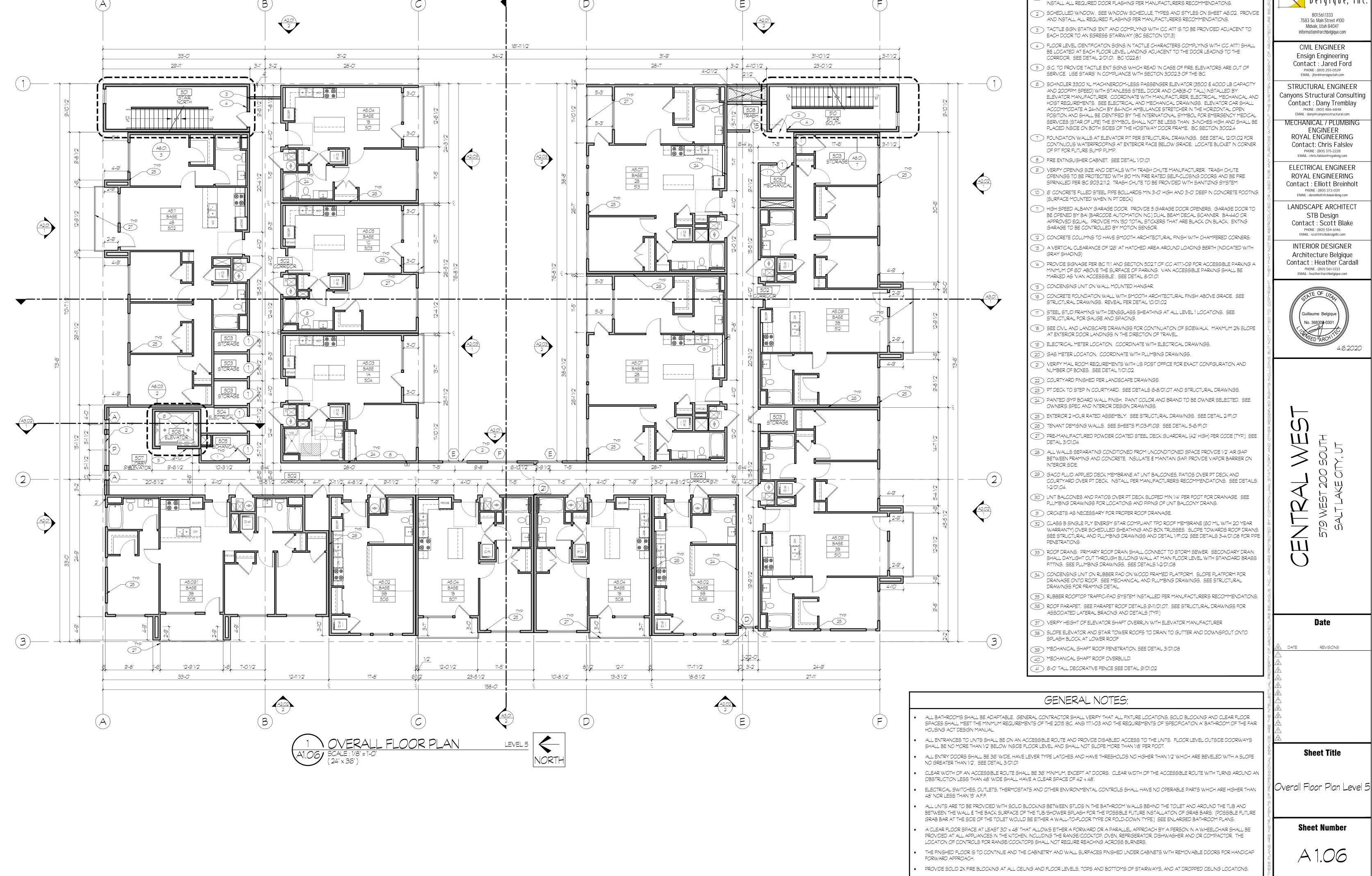


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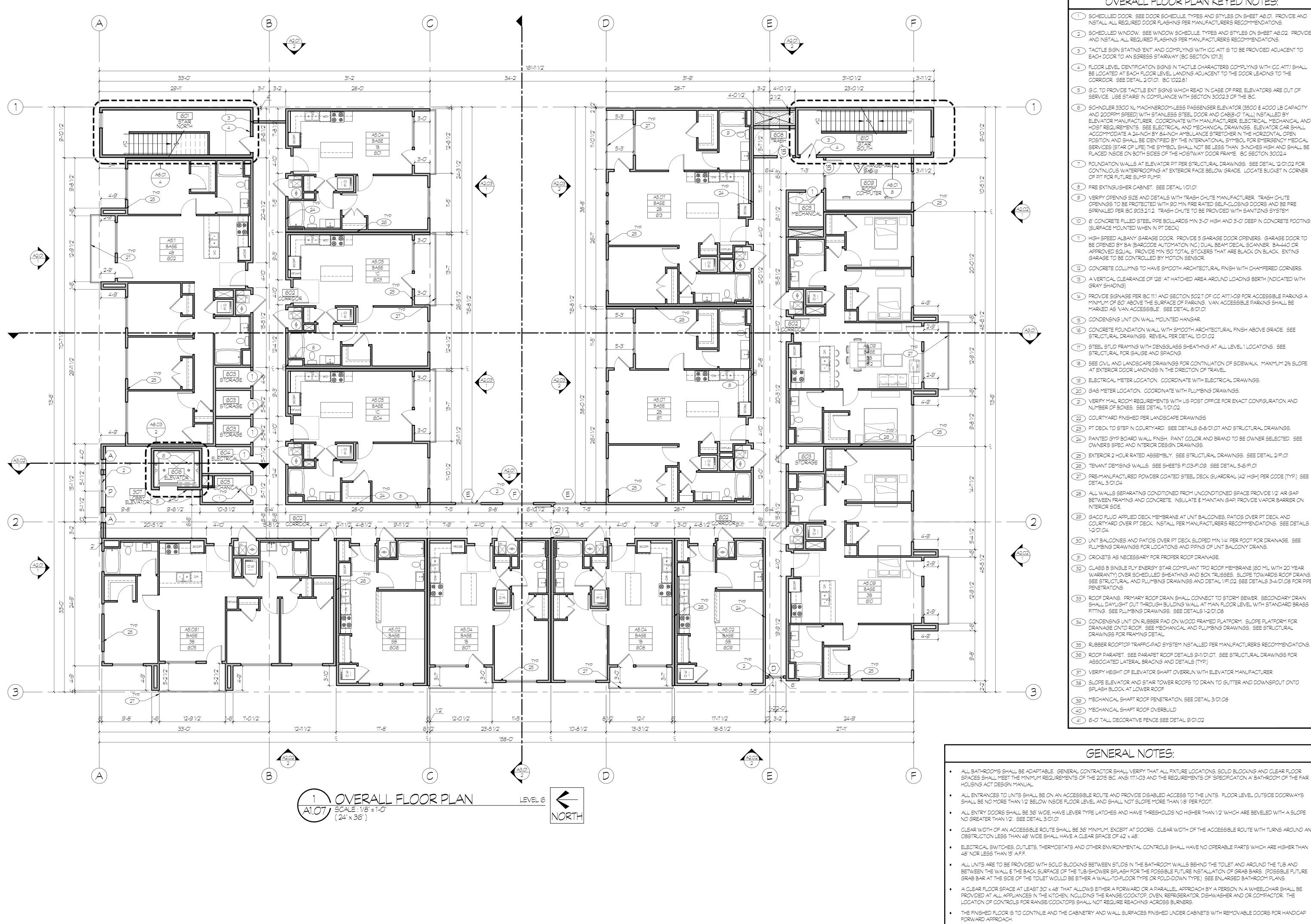
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Overall Floor Plan Level 4



OVERALL FLOOR PLAN KEYED NOTES:

) SCHEDULED DOOR. SEE DOOR SCHEDULE, TYPES AND STYLES ON SHEET A6.01. PROVIDE AND



OVERALL FLOOR PLAN KEYED NOTES:

) SCHEDULED DOOR. SEE DOOR SCHEDULE, TYPES AND STYLES ON SHEET A6.01. PROVIDE AND INSTALL ALL REQUIRED DOOR FLASHING PER MANUFACTURER'S RECOMMENDATIONS.

2 SCHEDULED WINDOW. SEE WINDOW SCHEDULE, TYPES AND STYLES ON SHEET A6.02. PROVIDE AND INSTALL ALL REQUIRED FLASHING PER MANUFACTURER'S RECOMMENDATIONS.

TACTILE SIGN STATING "EXIT" AND COMPLYING WITH ICC A117 IS TO BE PROVIDED ADJACENT TO EACH DOOR TO AN EGRESS STAIRWAY (IBC SECTION 1011.3)

FLOOR LEVEL IDENTIFICATION SIGNS IN TACTILE CHARACTERS COMPLYING WITH ICC A117.1 SHALL BE LOCATED AT EACH FLOOR LEVEL LANDING ADJACENT TO THE DOOR LEADING TO THE

5 G.C. TO PROVIDE TACTILE EXIT SIGNS WHICH READ "IN CASE OF FIRE, ELEVATORS ARE OUT OF

6 ) SCHINDLER 3300 XL MACHINEROOM-LESS PASSENGER ELEVATOR (3500 & 4000 LB CAPACITY AND 200FPM SPEED) WITH STAINLESS STEEL DOOR AND CAB(8'-0" TALL) INSTALLED BY ELEVATOR MANUFACTURER. COORDINATE WITH MANUFACTURER, ELECTRICAL, MECHANICAL AND HOIST REQUIREMENTS. SEE ELECTRICAL AND MECHANICAL DRAWINGS. ELEVATOR CAR SHALL ACCOMMODATE A 24-INCH BY 84-INCH AMBULANCE STRETCHER IN THE HORIZONTAL OPEN POSITION AND SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES (STAR OF LIFE) THE SYMBOL SHALL NOT BE LESS THAN 3-INCHES HIGH AND SHALL BE

O FOUNDATION WALLS AT ELEVATOR PIT PER STRUCTURAL DRAWINGS. SEE DETAIL 12/D1.02 FOR CONTINUOUS WATERPROOFING AT EXTERIOR FACE BELOW GRADE. LOCATE BUCKET IN CORNER

9 ) VERIPY OPENING SIZE AND DETAILS WITH TRASH CHUTE MANUFACTURER. TRASH CHUTE OPENINGS TO BE PROTECTED WITH 90 MIN FIRE RATED SELF-CLOSING DOORS AND BE FIRE SPRINKLED PER IBC 903.2.11.2. TRASH CHUTE TO BE PROVIDED WITH SANITIZING SYSTEM

o ) 6" CONCRETE FILLED STEEL PIPE BOLLARDS MIN 3'-0" HIGH AND 3'-0" DEEP IN CONCRETE FOOTING.

HIGH SPEED ALBANY GARAGE DOOR. PROVIDE 5 GARAGE DOOR OPENERS. GARAGE DOOR TO BE OPENED BY BAI (BARCODE AUTOMATION INC.) DUAL BEAM DECAL SCANNER. BA-440 OR APPROVED EQUAL. PROVIDE MIN 150 TOTAL STICKERS THAT ARE BLACK ON BLACK. EXITING

 $^{12}$  ) CONCRETE COLUMNS TO HAVE SMOOTH ARCHITECTURAL FINISH WITH CHAMFERED CORNERS.

13 ) A VERTICAL CLEARANCE OF 126" AT HATCHED AREA AROUND LOADING BERTH (INDICATED WITH

PROVIDE SIGNAGE PER IBC 111.1 AND SECTION 502.7 OF ICC A117.1-09 FOR ACCESSIBLE PARKING A MINIMUM OF 60" ABOVE THE SURFACE OF PARKING. VAN ACCESSIBLE PARKING SHALL BE

CONCRETE FOUNDATION WALL WITH SMOOTH ARCHITECTURAL FINISH ABOVE GRADE. SEE

STEEL STUD FRAMING WITH DENSGLASS SHEATHING AT ALL LEVEL 1 LOCATIONS. SEE

18 ) SEE CIVIL AND LANDSCAPE DRAWINGS FOR CONTINUATION OF SIDEWALK. MAXIMUM 2% SLOPE

19 ELECTRICAL METER LOCATION. COORDINATE WITH ELECTRICAL DRAWINGS.

20) GAS METER LOCATION. COORDINATE WITH PLUMBING DRAWINGS.

21) VERIFY MAIL ROOM REQUIREMENTS WITH US POST OFFICE FOR EXACT CONFIGURATION AND

23 ) PT DECK TO STEP IN COURTYARD. SEE DETAILS 6-8/D1.07 AND STRUCTURAL DRAWINGS.

24) PAINTED GYP BOARD WALL FINISH. PAINT COLOR AND BRAND TO BE OWNER SELECTED. SEE

25 ) EXTERIOR 2 HOUR RATED ASSEMBLY. SEE STRUCTURAL DRAWINGS. SEE DETAIL 2/F1.01

26) TENANT DEMISING WALLS. SEE SHEETS F1.03-F1.09. SEE DETAIL 5-6/F1.01

27) PRE-MANUFACTURED POWDER COATED STEEL DECK GUARDRAIL (42" HIGH) PER CODE (TYP.) SEE

28) ALL WALLS SEPARATING CONDITIONED FROM UNCONDITIONED SPACE PROVIDE 1/2" AIR GAP BETWEEN FRAMING AND CONCRETE. INSULATE & MAINTAIN GAP; PROVIDE VAPOR BARRIER ON

29) GACO FLUID APPLIED DECK MEMBRANE AT UNIT BALCONIES, PATIOS OVER PT DECK AND COURTYARD OVER PT DECK. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SEE DETAILS

30) UNIT BALCONIES AND PATIOS OVER PT DECK SLOPED MIN 1/4" PER FOOT FOR DRAINAGE. SEE

32) CLASS B SINGLE PLY ENERGY STAR COMPLIANT TPO ROOF MEMBRANE (60 MIL WITH 20 YEAR WARRANTY) OVER SCHEDULED SHEATHING AND BOX TRUSSES. SLOPE TOWARDS ROOF DRAINS SEE STRUCTURAL AND PLUMBING DRAWINGS AND DETAIL 1/F1.02. SEE DETAILS 3-4/D1.08 FOR PIPE

33 ) ROOF DRAINS. PRIMARY ROOF DRAIN SHALL CONNECT TO STORM SEWER. SECONDARY DRAIN SHALL DAYLIGHT OUT THROUGH BUILDING WALL AT MAIN FLOOR LEVEL WITH STANDARD BRASS

34) CONDENSING UNIT ON RUBBER PAD ON WOOD FRAMED PLATFORM. SLOPE PLATFORM FOR DRAINAGE ONTO ROOF. SEE MECHANICAL AND PLUMBING DRAWINGS. SEE STRUCTURAL

35) RUBBER ROOFTOP TRAFFIC-PAD SYSTEM INSTALLED PER MANUFACTURERS RECOMMENDATIONS. 36) ROOF PARAPET. SEE PARAPET ROOF DETAILS 9-11/D1.07. SEE STRUCTURAL DRAWINGS FOR

37 ) VERIFY HEIGHT OF ELEVATOR SHAFT OVERRUN WITH ELEVATOR MANUFACTURER

38 SLOPE ELEVATOR AND STAIR TOWER ROOFS TO DRAIN TO GUTTER AND DOWNSPOUT ONTO

39) MECHANICAL SHAFT ROOF PENETRATION. SEE DETAIL 3/D1.08

ALL BATHROOMS SHALL BE ADAPTABLE. GENERAL CONTRACTOR SHALL VERIFY THAT ALL FIXTURE LOCATIONS, SOLID BLOCKING AND CLEAR FLOOR SPACES SHALL MEET THE MINIMUM REQUIREMENTS OF THE 2015 IBC, ANSI 117.1-03 AND THE REQUIREMENTS OF "SPECIFICATION A" BATHROOM OF THE FAIR

ALL ENTRANCES TO UNITS SHALL BE ON AN ACCESSIBLE ROUTE AND PROVIDE DISABLED ACCESS TO THE UNITS. FLOOR LEVEL OUTSIDE DOORWAYS

CLEAR WIDTH OF AN ACCESSIBLE ROUTE SHALL BE 36" MINIMUM, EXCEPT AT DOORS. CLEAR WIDTH OF THE ACCESSIBLE ROUTE WITH TURNS AROUND AN

ELECTRICAL SWITCHES, OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS SHALL HAVE NO OPERABLE PARTS WHICH ARE HIGHER THAN

ALL UNITS ARE TO BE PROVIDED WITH SOLID BLOCKING BETWEEN STUDS IN THE BATHROOM WALLS BEHIND THE TOILET AND AROUND THE TUB AND

A CLEAR FLOOR SPACE AT LEAST 30" x 48" THAT ALLOWS EITHER A FORWARD OR A PARALLEL APPROACH BY A PERSON IN A WHEELCHAIR SHALL BE PROVIDED AT ALL APPLIANCES IN THE KITCHEN, INCLUDING THE RANGE/COOKTOP, OVEN, REFRIGERATOR, DISHWASHER AND OR COMPACTOR. THE

THE FINISHED FLOOR IS TO CONTINUE AND THE CABINETRY AND WALL SURFACES FINISHED UNDER CABINETS WITH REMOVABLE DOORS FOR HANDICAP

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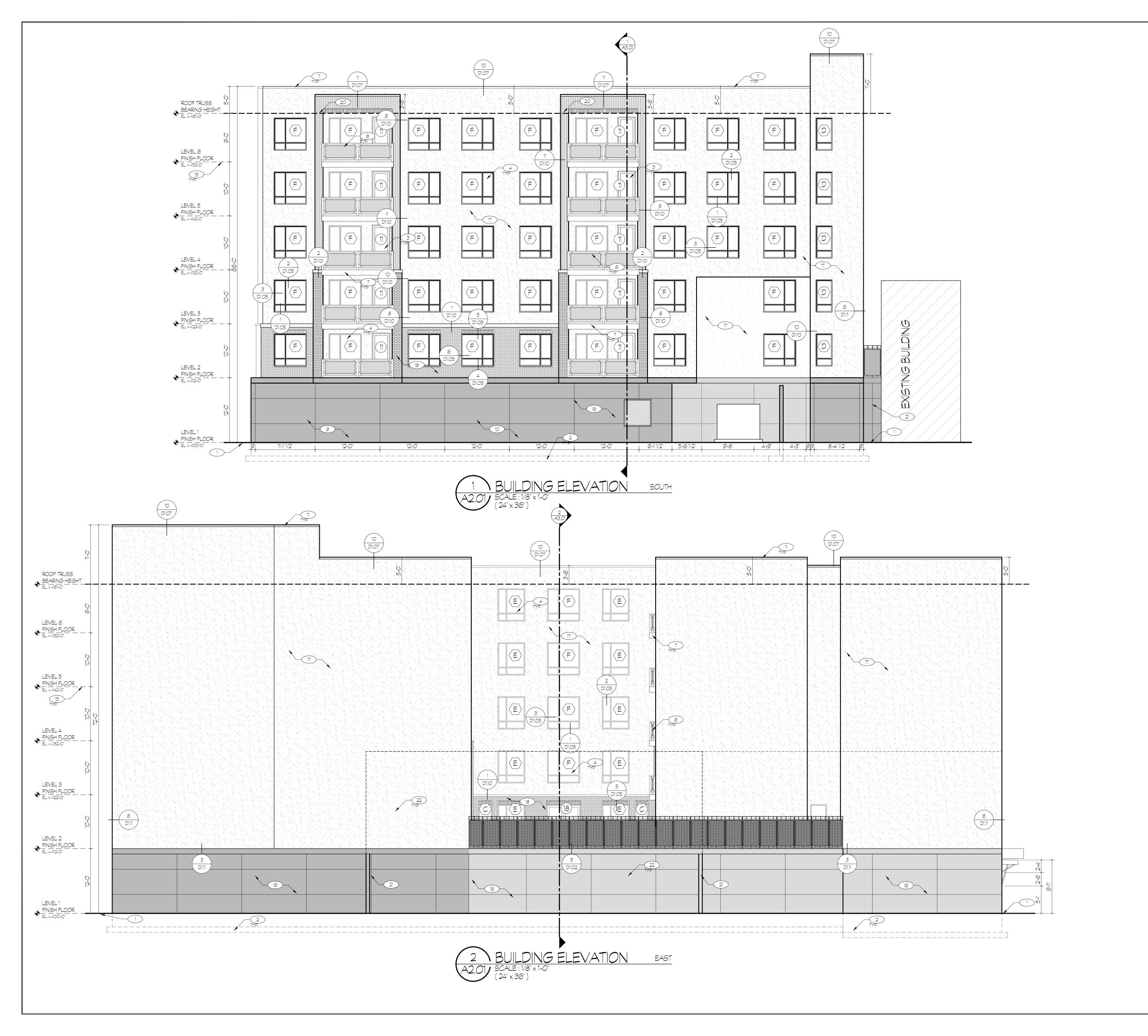


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Overall Floor Plan Level 6



## BUILDING ELEVATION KEYED NOTES:

- 1) SLOPE EXTERIOR FINISH GRADE AWAY FROM PERIMETER OF BUILDING FOR PROPER DRAINAGE
- 2 STEPPED FOOTINGS AND FOUNDATION WALLS AS REQUIRED
- 3 SCHEDULED DOOR. SEE DOOR SCHEDULE, TYPES, AND STYLES ON SHEET A6.01. PROVIDE AND INSTALL ALL REQUIRED DOOR FLASHING PER MANUFACTURER'S RECOMMENDATIONS.
- 4) SCHEDULED WINDOW. SEE WINDOW SCHEDULE, TYPES, AND STYLES ON SHEET A6.02. PROVIDE AND INSTALL ALL REQUIRED WINDOW FLASHING PER MANUFACTURER'S RECOMMENDATIONS.
- 5) COLORED ANODIZED ALUMINUM STOREFRONT. SEE DOOR AND WINDOW SCHEDULE A6.01-A6.02.
- PROVIDE COLOR SAMPLES FOR APPROVAL. 6) PRE-MANUFACTURED POWDER COATED STEEL DECK GUARDRAIL (42" HIGH) PER CODE (TYP) SEE
- DETAILS 1-3/D1.04 7) VENTED ALUMINUM SOFFIT AND RIBBED FASCIA AT BALCONIES SEE DETAIL 2/D1.04. PROVIDE
- CONTINUOUS PIECE FOR BALCONY FASCIA.
- 8 NOT USED
- 9 ELECTRICAL METER LOCATION. COORDINATE WITH ELECTRICAL DRAWINGS
- 10) GAS METER LOCATION. COORDINATE WITH PLUMBING DRAWINGS
- $\stackrel{1}{\longrightarrow}$  PRE-FINISHED METAL PARAPET WALL CAP. COLOR TBD. PROVIDE SAMPLES FOR APPROVAL.
- 12 BUILDING SIGNAGE TO BE INSTALLED BY LICENSED CONTRACTOR UNDER SEPARATE PERMIT. VERIFY SIGNAGE BUDGET AND DESIGN WITH OWNER.
- 13) ENTRY AWNING. SEE DETAIL 7/D1.11
- 14) INTAKE/EXHAUST LOUVER. SEE MECHANICAL DRAWINGS FOR EXACT SIZES.
- 15 ELEVATIONS ARE TO TOP OF SLAB, TOP OF SHEATHING OR ROOF TRUSS BEARING HEIGHT. SEE DETAIL 1/D1.02
- 16 SMOOTH ARCHITECTURAL FINISH @ ALL EXPOSED EXTERIOR CONCRETE, REVEAL IN CONCRETE AS SHOWN. SEE DETAIL 10/D1.02
- 17) THREE-COAT STUCCO (HARD COAT) EXTERIOR VENEER SYSTEM (7/8" MIN THICKNESS) ON SCHEDULED SHEATHING OVER SCHEDULED FRAMING. SAND FINISH. PROVIDE COLOR SAMPLE PER COLOR SAMPLE PER COLOR BOARD. SEE DETAIL SHEETS FOR SPECIFIC APPLICATION
- 18) RUNNING BOND KING BRICK. SEE DETAIL SHEETS FOR SPECIFIC APPLICATION

Total Façade

Total Façade

Remaining Façade

- 19 RUNNING BOND KING THIN BRICK. SEE DETAILS SHEETS FOR SPECIFIC APPLICATION
- 20) 7.2 MBCI CORRUGATED METAL SIDING (26 GAUGE WITH KYNAR FINISH) INSTALL PER MANUFACTURERS RECOMMENDATIONS. SEE DETAIL SHEETS FOR SPECIFIC APPLICATION
- 21) 8" CONCRETE STEM WALL
- 22) APPROXIMATE LOCATION OF EXISTING WINDOWS FROM NEIGHBORING PROPERTY. FIELD VERIFY.

10,968 SQFT

472 SQFT 10,496 SQFT 4,756 SQFT

o SQFT 5,741 SQFT

o SQFT

7,266 SQFT

2,516 SQFT

4,750 SQFT 2,881 SQFT 469 SQFT

1,400 SQFT

100%

100%

55%

First Floor overall 1,886 SQFT

First Floor overall 1,247 SQFT Glazing 692 SQFT

Glazing

23) WALL MURAL AREA. ART PIECE TBD BY OWNER

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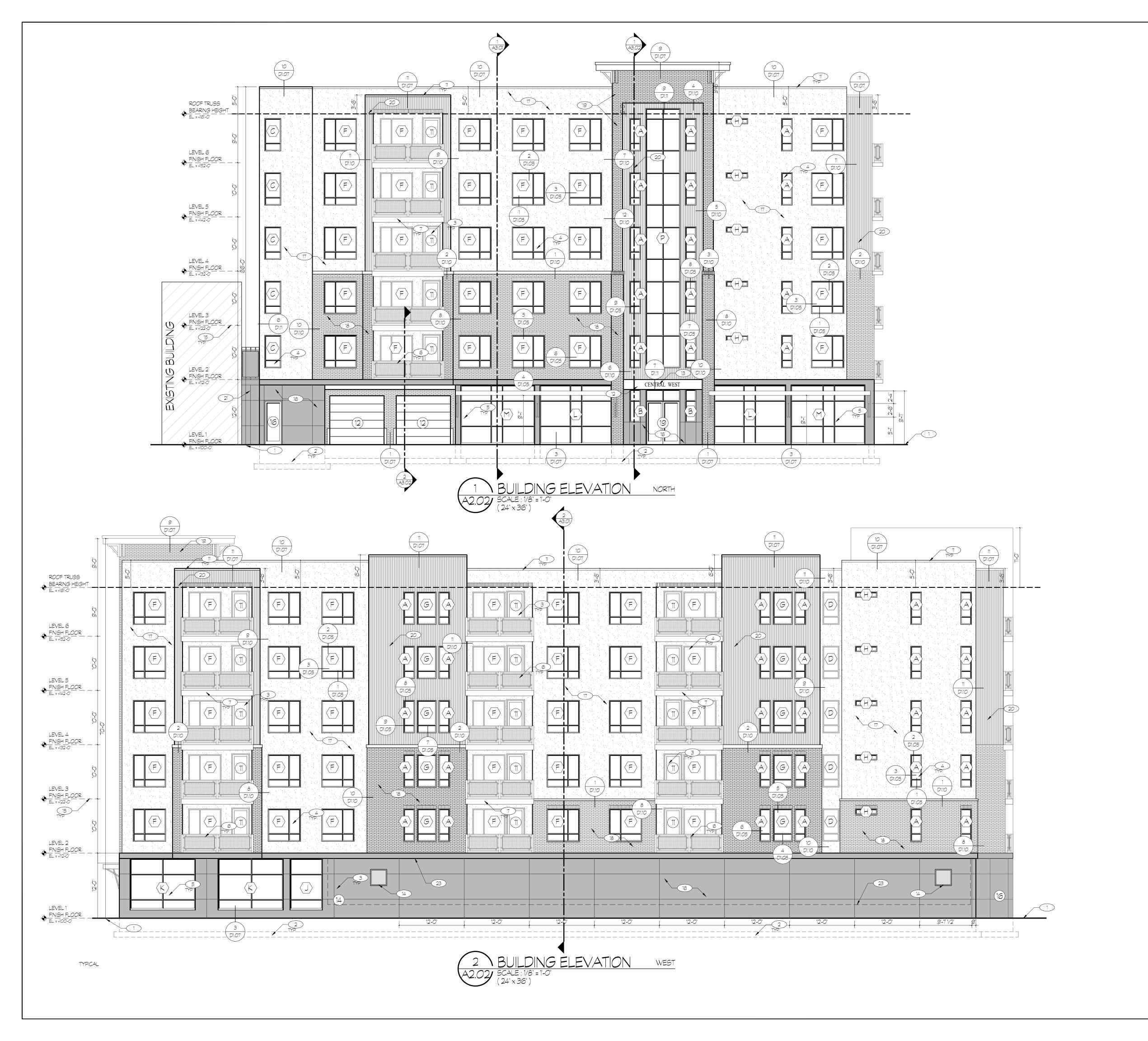
**Date** 

**Sheet Title** 

South and East Building Elevations

**Sheet Number** 

A 2.01



# BUILDING ELEVATION KEYED NOTES:

- 1 SLOPE EXTERIOR FINISH GRADE AWAY FROM PERIMETER OF BUILDING FOR PROPER DRAINAGE
- 2 STEPPED FOOTINGS AND FOUNDATION WALLS AS REQUIRED
- 3 SCHEDULED DOOR. SEE DOOR SCHEDULE, TYPES, AND STYLES ON SHEET A6.01. PROVIDE AND INSTALL ALL REQUIRED DOOR FLASHING PER MANUFACTURER'S RECOMMENDATIONS.
- 4 SCHEDULED WINDOW. SEE WINDOW SCHEDULE, TYPES, AND STYLES ON SHEET A6.02. PROVIDE AND INSTALL ALL REQUIRED WINDOW FLASHING PER MANUFACTURER'S RECOMMENDATIONS.
- 5 COLORED ANODIZED ALUMINUM STOREFRONT. SEE DOOR AND WINDOW SCHEDULE A6.01-A6.02.
- 6 PRE-MANUFACTURED POWDER COATED STEEL DECK GUARDRAIL (42" HIGH) PER CODE (TYP) SEE DETAILS 1-3/D1.04
- 7 VENTED ALUMINUM SOFFIT AND RIBBED FASCIA AT BALCONIES SEE DETAIL 2/D1.04. PROVIDE CONTINUOUS PIECE FOR BALCONY FASCIA.
- 8 NOT USED
- 9 ELECTRICAL METER LOCATION. COORDINATE WITH ELECTRICAL DRAWINGS

PROVIDE COLOR SAMPLES FOR APPROVAL.

- 10) GAS METER LOCATION. COORDINATE WITH PLUMBING DRAWINGS
- 1) PRE-FINISHED METAL PARAPET WALL CAP. COLOR TBD. PROVIDE SAMPLES FOR APPROVAL.
- BUILDING SIGNAGE TO BE INSTALLED BY LICENSED CONTRACTOR UNDER SEPARATE PERMIT. VERIFY SIGNAGE BUDGET AND DESIGN WITH OWNER.
- 13 ENTRY AWNING. SEE DETAIL 7/D1.11
- 14) INTAKE/EXHAUST LOUVER. SEE MECHANICAL DRAWINGS FOR EXACT SIZES.
- 15 ELEVATIONS ARE TO TOP OF SLAB, TOP OF SHEATHING OR ROOF TRUSS BEARING HEIGHT. SEE
- 16 SMOOTH ARCHITECTURAL FINISH @ ALL EXPOSED EXTERIOR CONCRETE, REVEAL IN CONCRETE AS SHOWN. SEE DETAIL 10/D1.02
- THREE-COAT STUCCO (HARD COAT) EXTERIOR VENEER SYSTEM (7/8" MIN THICKNESS) ON SCHEDULED SHEATHING OVER SCHEDULED FRAMING. SAND FINISH. PROVIDE COLOR SAMPLE PER COLOR SAMPLE PER COLOR BOARD. SEE DETAIL SHEETS FOR SPECIFIC APPLICATION
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DETAIL 1/D1.02

- 19 RUNNING BOND KING THIN BRICK. SEE DETAILS SHEETS FOR SPECIFIC APPLICATION
- 20) 7.2 MBCI CORRUGATED METAL SIDING (26 GAUGE WITH KYNAR FINISH) INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SEE DETAIL SHEETS FOR SPECIFIC APPLICATION
- 21 8" CONCRETE STEM WALL
- 22 APPROXIMATE LOCATION OF EXISTING WINDOWS FROM NEIGHBORING PROPERTY. FIELD VERIFY.
- 23) WALL MURAL AREA ART PIECE TBD BY OWNER

	20			
South Elevati	ion			
Overall	Overall Minus Glass	First Floor only	Square Footage	Percentage
Total Façade			7,335 SQFT	100%
Glazing			1,719 SQFT	23.4%
	Remaining Façade		5,616 SQFT	100%
	Durable*		1,888 SQFT	33.7%
	Metal		250 SQFT	4.4%
	Stucco		3,728 SQFT	66.3%
		First Floor overall	1,262 SQFT	100%
		Glazing	o SQFT	0%
East Elevation	1			
Overall	Overall Minus Glass	First Floor only	Square Footage	Percentage
Гotal Façade			10,569 SQFT	100%
Glazing			2,597 SQFT	24.5%
	Remaining Façade	7,972 SQFT		100%
	Durable*	3,873 SQFT		48.6%
	Metal	1,281 SQFT		16%
	Stucco	4,099 SQFT		51.4%
		First Floor overall	1,833 SQFT	100%
		Glazing	354 SQFT	19.3%



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MECHANICAL / PLUMBING

ENGINEER

ROYAL ENGINEERING

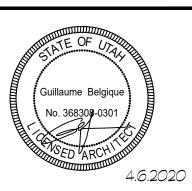
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SALT LAKE CITY, UT

Date REVISIONS

Sheet Title

**Sheet Title** 

North and West Building Elevations

Sheet Number

A 2.02

